

LIVING DESIGN PRINCIPLES

BANKSIDE



CONTENTS

01. OVERVIEW AND QUALITY STANDARDS	4
Benefits Of The Living Design Principles	6
Maintaining Environmental Standards	7
Before You Design Your New Home	7
Gaining Approval To Build	7
Precinct Covenants	8
Small Lots	8
Medium Density	8
02. SITE LAYOUT AND EARTHWORKS	10
Living Design Principles	12
Principles in Action	12
03. FAÇADE AND ROOF	14
Living Design Principles	16
Principles in Action	16
04. LOTS ON STREET CORNERS	22
Living Design Principles	24
Principles in Action	25
05. GARAGES AND DRIVEWAYS	28
Living Design Principles	30
Principles in Action	30
06. FENCES	32
Living Design Principles	34
Principles in Action	35
07. ANCILLARY ITEMS	38
Living Design Principles	40
Principles in Action	41
08. LANDSCAPING	44
Living Design Principles	46
Principles in Action	47
09. ENVIRONMENTAL SUSTAINABILITY	50
Living Design Principles	52
Principles in Action	52
10. DURING AND AFTER CONSTRUCTION	54
Living Design Principles	55
Principles in Action	55
11. LEGALITIES	56
Legal Obligations	58
Definitions	61
12. SUBMITTING PROPOSALS	62
Design Drawings	64
The Assessment Process	64
Appendices	65
Appendix A: Guide to Landscaping Principles	65
Appendix B: Plants for your Front Garden	72
Appendix C: Purchaser Agreement to Comply	76

01. OVERVIEW AND QUALITY STANDARDS

We know from more than five decades' experience that the best residential communities are founded on quality design. It's true of Providence in Greenvale, Sovereign Crest in Rowville, Circa 1886 at Clyde North, and Arise in the Brisbane suburb of Rochedale, to name just a few of the communities Pask Group has established.

For each, we developed a unique set of highly considered design guidelines—we call them Living Design Principles—to ensure every lot owner realises their home with high standards of construction and landscaping.

The Living Design Principles for Bankside—Pask Group's latest residential community in Rowville—are detailed in this document, and the Bankside Design Review Portal.

By encouraging quality design outcomes throughout your street and across the entire Bankside community, these guidelines will help protect you and your investment, while creating a neighbourhood with a distinctive and enviable sense of place.

Designed primarily for Bankside allotments with detached homes, the intent of these guidelines applies equally to alternative options, such as integrated housing and lots subject to the Small Lot Housing Code, although specific controls may vary.

These Living Design Principles may require updating in line with changes to statutory requirements, technology, market conditions, or other reasons. Pask Group reserves the right to do so at all times during Bankside's development, and will ensure any revisions are published on the Bankside Design Review Portal. Please ensure you cite the latest version when commencing the design of your home.

BENEFITS OF THE LIVING DESIGN PRINCIPLES

The Living Design Principles benefit Bankside purchasers and future residents in important and enduring ways, as they ensure each home:

- Expresses the individuality of its owner, without limiting design quality or the use of innovative materials
- Looks onto the street, to support greater neighbourhood safety
- Uses energy and water efficiently
- Contributes to an attractive streetscape through compatible scale, form and colour
- Is an attractive place to live within this new community.

Complying with the Living Design Principles allows these outcomes to be achieved through sensible and innovative design, and without undue extra expense on your behalf. All homes in your street will be of the same or higher standard of design and construction, and constructed within a reasonable time in a clean and tidy manner.

MAINTAINING ENVIRONMENTAL STANDARDS

The Living Design Principles and Bankside masterplan are based on standards developed by EnviroDevelopment, which independently assesses the design and construction of residential estates around Australia.

Bankside gained EnviroDevelopment accreditation in 2017, after demonstrating outstanding performance in all six possible categories: ecosystems, waste, energy, materials, water and community.

As the estate develops, it will be reassessed by EnviroDevelopment annually. By complying with the Living Design Principles, you'll help ensure Bankside retains its accreditation.

BEFORE YOU DESIGN YOUR NEW HOME

When you signed your Contract of Sale documents, you agreed to abide by Bankside Living Design Principles, and if applicable, a building envelope.

So please provide this document to your building designer or builder when you first engage them, and point out that all relevant design criteria and background information—including the most up-to-date version of the Living Design Principles—which is available online at the Bankside Design Review Portal. [Click here.](#)

GAINING APPROVAL TO BUILD

The design of your new home must be approved before you can start building. There are three steps involved:

STEP 1. Ensure your builder or designer situates and designs your home in accordance with the Living Design Principles.

STEP 2. Submit your house and garden plans for assessment by the professional designers on Bankside's Design Review Panel. If your plans comply with the Living Design Principles, the panel will issue an approval. There is no charge for the initial assessment, however a processing fee will be applied for subsequent submissions, so please ensure your first application is complete.

STEP 3. Once the Design Review Panel approves your plans, all that remains is for you to obtain a building permit from a building certifier or Knox City Council.

PRECINCT COVENANTS

As the Bankside masterplan evolves, new precincts may emerge. Although seamlessly connected within the estate, each will enjoy a unique outlook and may be subject to additional covenants as the precincts are developed.

We will update the Living Design Principles to reflect additional covenants, and you will need to be aware of these additions before building your home. You'll be able to access the most up-to-date version of the Living Design Principles at the Bankside Design Review Portal.

In some parts of Bankside, a two-storey build covenant will apply. Double storey covenants will be outlined in sales plan documents issued at time of sale.

MEDIUM DENSITY

Any superlots identified as 'Future MDH' in the Bankside - Staging Layout Document (refer latest version) will be subject to a separate set of guidelines and not bound by those outlined in this document.

SMALL LOTS

Bankside lots between 200m² and 300m² in area are generally subject to the requirements of the Small Lot Housing Code, which can be accessed online at the Bankside Design Review Portal.

The Living Design Principles and Small Lot Housing Code requirements work together, with the latter taking precedence in the case of a discrepancy.



Figure 1: The masterplan of Bankside

02. SITE LAYOUT AND EARTHWORKS

A common sense approach to the scale and positioning of your house will maximise its liveability and the amenity you'll enjoy once you move in.

LIVING DESIGN PRINCIPLES

1. House size must be appropriate to lot size
2. All houses along a street must have a consistent setback
3. A house must be adequately separated from those nearby
4. Reduce the risk of soil movement and flooding that would affect abutting properties
5. Minimise the visual impact of siteworks on the streetscape

PRINCIPLES IN ACTION

1. Only one house is allowed per lot, unless the lot is designated as a medium density site.
2. If your lot is smaller than 400m², your house must have a floor area of at least 140m² (excluding garages and verandahs)
3. If your lot is 400m² or larger, your house must have a floor area of at least 180m² (excluding garages and verandahs)
4. The distance from the exterior of your house—including the garage door—to the lot boundaries must meet the setbacks prescribed for your lot.

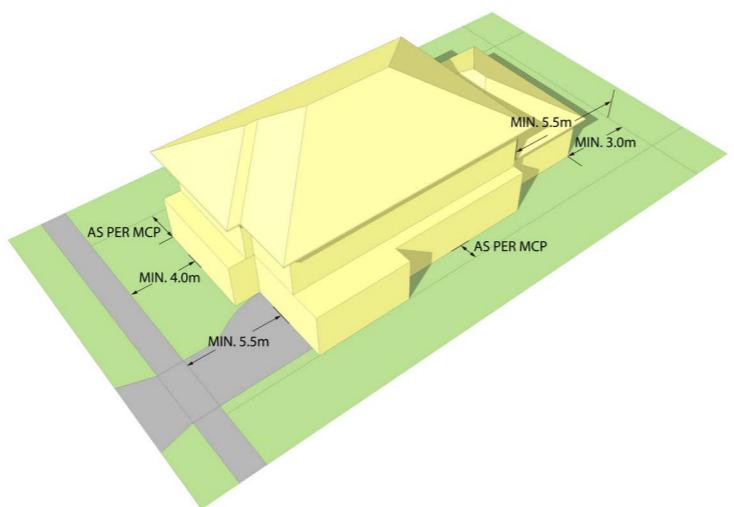


Figure 2: Typical minimum setbacks from lot boundaries on a regular lot.



Figure 3: Retaining walls visible from the street must match the colour of your house.

5. There must be an external path on your lot that connects your front and rear yards.
6. Any excavation or fill must be contained within your lot, and not affect adjoining properties. You must obtain building permits from a building certifier or Knox City Council.
7. Freestanding retaining walls are discouraged. If built, they must be no more than 1.0m above or below natural ground level, and at least 1.0m from your lot boundary. If within public view, they must match the colour of your house and be constructed either of stone, rendered block work, face brickwork or in-situ concrete. Timber or exposed blockwork is prohibited.
8. If temporary or permanent works are likely to cause overland stormwater flow that damages or causes nuisance to properties downstream, preventative drainage works must be undertaken.
9. Drains must be installed at the foot of each embankment and retaining wall to ensure all surface water is discharged at the legal point of discharge (LPOD), and not onto adjacent land.
10. If vehicle access to your lot is via the rear boundary (a 'rear loaded' lot) you must construct appropriate fences, pedestrian gates and landscaping on both boundaries. Your letterbox must be located at the rear boundary, which must address the street appropriately by integrating your garage and fencing into the rear facade, and not dominating the streetscape. In all other respects the house, fencing and landscaping must comply with the relevant Principles in Action solutions.

03. FAÇADE AND ROOF

Attractive streetscapes are created when the front facades and gardens of neighbouring homes are compatible with each other, and the street overall. Individual homes will differ in design and appearance, but each will be visually harmonious with the street as a whole.

The Design Review Panel encourages diversity. When reviewing your plans, your facade will be carefully assessed to ensure it does not replicate similar facades or colour schemes close to your home.

LIVING DESIGN PRINCIPLES

1. Houses must be both individual and harmonious with their neighbours.
2. Streets must be visually attractive.
3. The colour scheme for your house must look good on its own, and also when viewed alongside those of houses nearby.
4. All materials must be of an appropriate standard

PRINCIPLES IN ACTION

1. The front of your house must be distinguishable from its neighbours at a glance. It cannot be identical—or even very similar—in form, materials or colour scheme to any house within a four lot distance on both sides of the street.
2. The front facade of your house must include:
 - at least one articulating element, e.g. a balcony, porch with its own roof line, verandah, pergola, window margins, sunhoods, blades or screens.
 - at least two of the following: a step of at least 500mm in plan view (excluding the garage), two or more distinctly different wall materials, or two or more complementary wall colours.
 - A feature material such as stained timber, stone or steel.

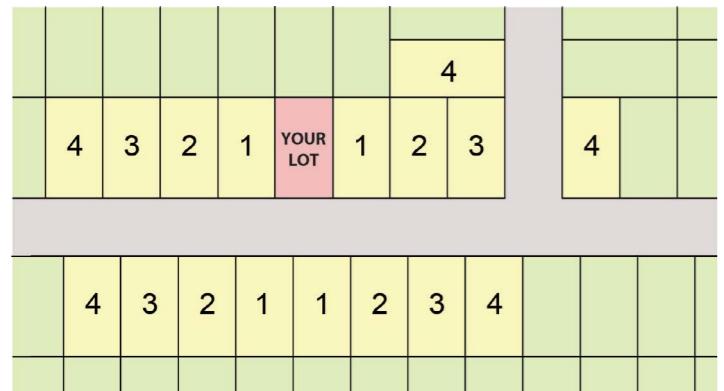


Figure 4: The facade of your house must look different from those up to four lots away. (A lot across the street with frontage directly opposite yours is a '1'.)

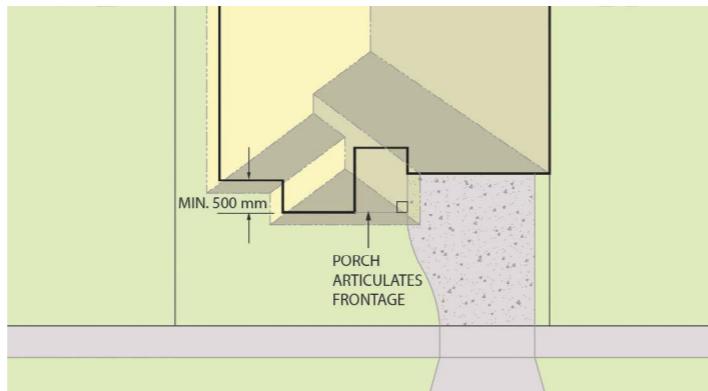


Figure 5: Articulating the house's facade using setbacks and a porch.



Figure 6: Porches, balconies and setbacks help to articulate house facades.



Figure 7: The front facade of your house must include elements to give it visual interest.



Figure 8: This house's facade features articulation, different materials, different colours and a recessed garage.

PRINCIPLES IN ACTION

3. A broad palette of complementary materials and finishes provides you with enormous scope to create a facade that is both distinctive and compatible to the overall streetscape.

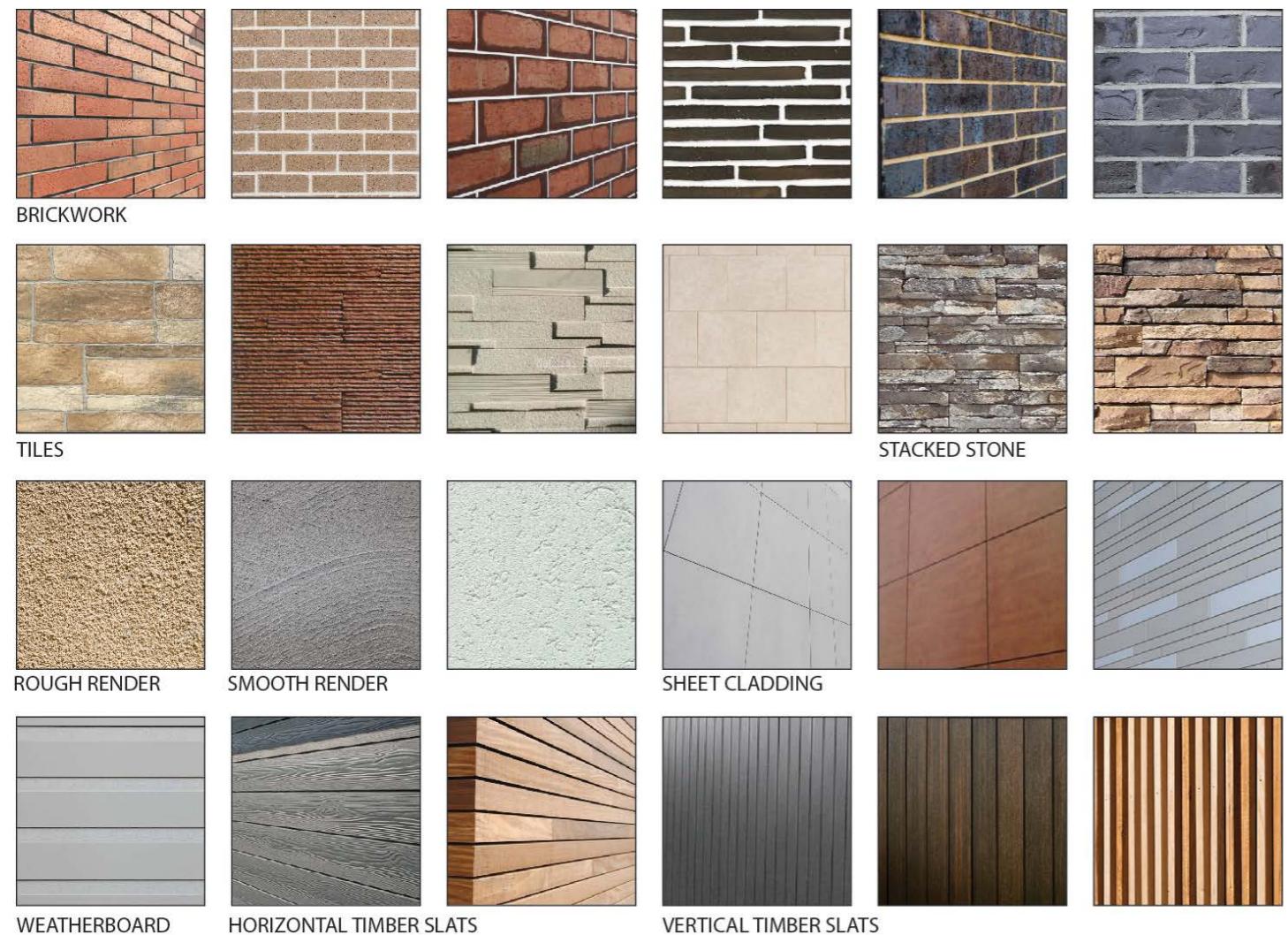


Figure 9: Examples of allowable wall materials.

PRINCIPLES IN ACTION

4. Allowable face brickwork colours are shown in the materials palette below Figure 10.

5. When applied to a street-facing facade, face brick must account for less than 50% of the area available. When calculating the area available, do not include openings such as windows, front doors and garage doors.

6. The following materials must not be used:

- sheet metal;
- reflective coatings;
- transparent plastic such as Perspex.



Figure 10: External wall materials within this colour range are allowed. The Design Review Panel may approve other colours.

Figure 11: A selection of the allowable roofing colours.



Figure 12: Allowable roof materials and profiles.

PRINCIPLES IN ACTION

7. The width of the front facade of your house (i.e. the facade facing the primary street) must be at least 70% the of the lot width.

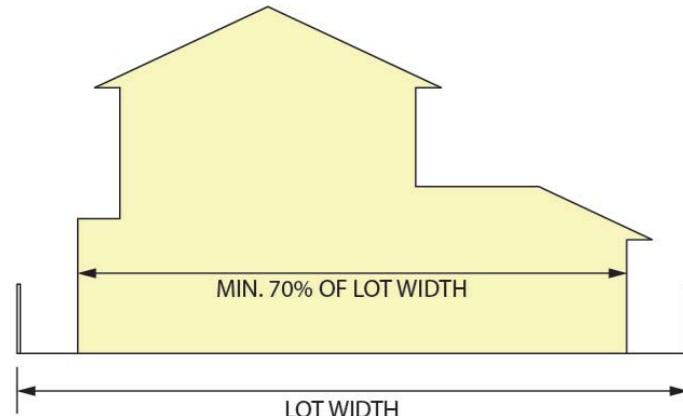


Figure 13: The width of your house across the front facade must be at least 70% of the lot width.

8. The pitch of all roofs (except for verandahs) must be:
- at least 25° or less than 5° for single storey houses;
 - at least 22° or less than 5° for houses with upper storeys.

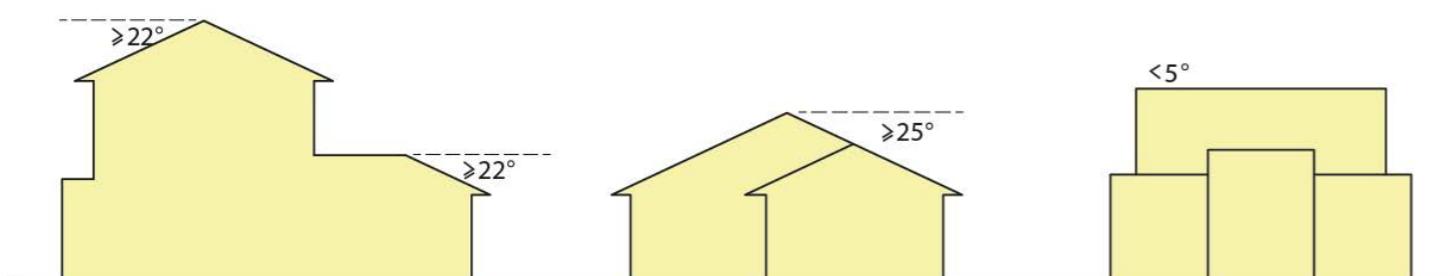


Figure 14: The roof pitch on single storey houses must be at least 25° or less than 5° . The roof pitch on houses with upper levels must be at least 22° or less than 5° .

PRINCIPLES IN ACTION

9. If your house is designed with eaves, the distance from the face of the external wall to the fascia of the eaves must be at least 450mm.

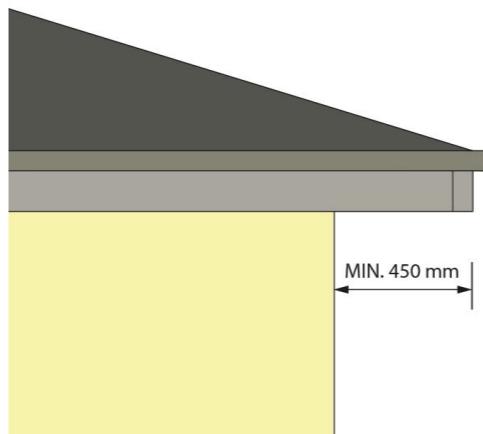


Figure 15: If eaves are used, they must be at least 450mm wide.

10. The colour of fascia boards, trim and exposed metalwork must match or complement the overall colour scheme of your house.
11. Downpipes are permitted on exterior walls, but pipes, conduits and wiring are prohibited.
12. When selecting colours for your house, consider how each colour works with those you have already chosen, as well as those on the houses next door.
13. Vibrant colours are prohibited on exterior facades, unless approved by the Design Review Panel.

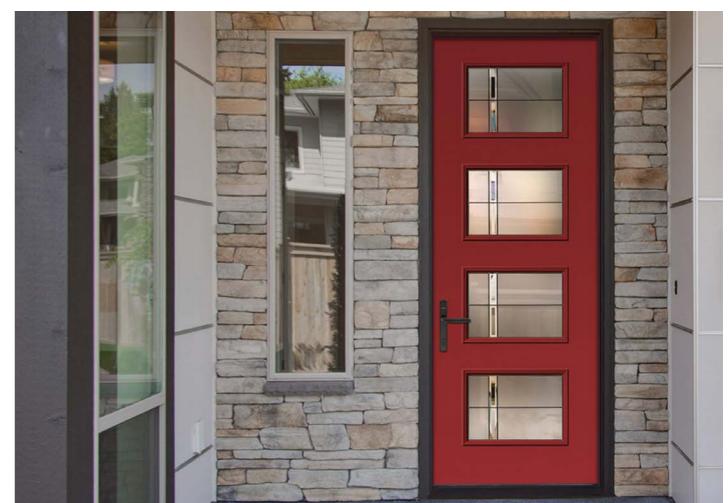


Figure 16: An example of where vibrant colours may be approved on an exterior.

04. LOTS ON STREET CORNERS

The design principles for building on corner lots are largely similar to those with a single street interface. The key difference is they apply to both frontages.

So if building on a corner lot, your home needs to integrate seamlessly with both streetscapes, adding visual interest to each, while also maintaining privacy and design efficiency.

LIVING DESIGN PRINCIPLES

1. Provide a similar standard of visual interest to both streets.
2. Ensure the function of rooms exposed to the street is appropriate to their public visibility.
3. Provide privacy to rear yards and the private functions of the home.

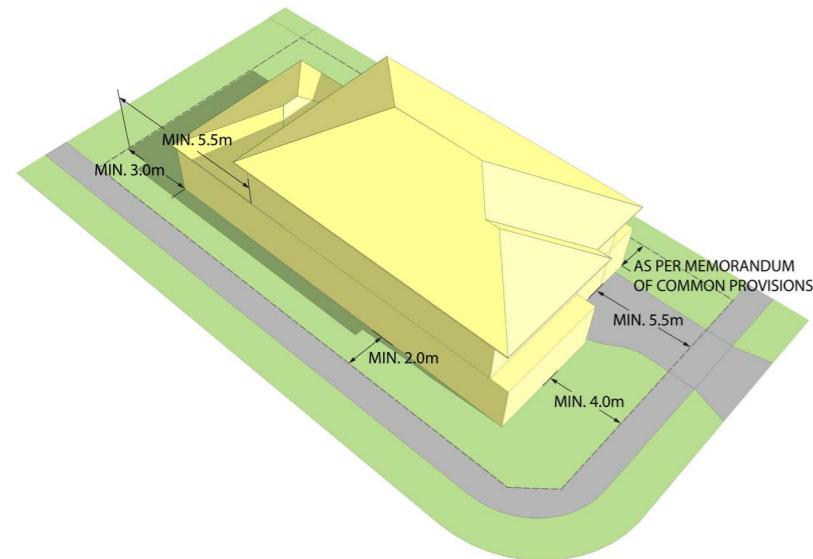


Figure 17: Typical minimum setbacks of houses from lot boundaries on a corner lot.

PRINCIPLES IN ACTION

1. A house facade facing a secondary street must have the same architectural treatment, details, materials and colours as the primary street facade.
2. Wrap-around elements, verandahs and feature windows are encouraged.
3. Highlight windows—especially on upper floors—are discouraged.
4. Large areas of blank wall facing the secondary street are prohibited.
5. For facade requirements, see Section 3. Facade & roof.



Figure 18: An example of a single storey house with the primary street frontage treatment wrapping around to the secondary street facade.



Figure 19: An example of a double storey house with the primary street frontage treatment wrapping around to the secondary street facade.



Figure 20: The secondary street front of this house has a similar level of visual interest as the front facade.

PRINCIPLES IN ACTION

6. A doorway facing a side street must not lead directly into 'back-of-house' spaces, such as the laundry, unless behind a boundary fence more than 1.8m high.
7. Side boundary fences facing secondary streets are a different type of fence to interlot fencing. Figure 21 below shows where this fence type is used. It starts at the rear boundary and extends no more than 70% of the lot's length.

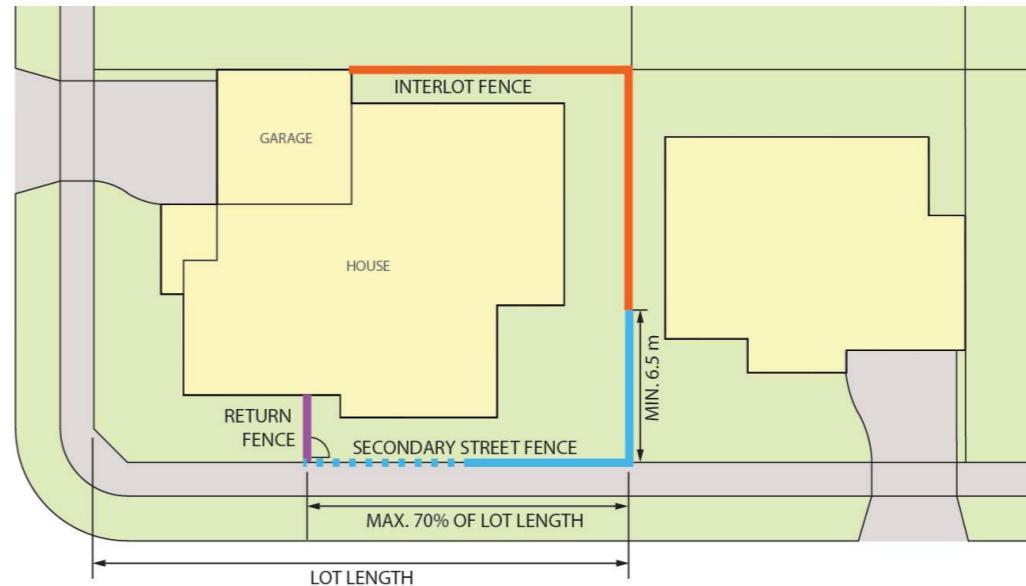


Figure 21: Fences for corner lots on secondary street boundaries must extend no more than 70% of the lot's length.

8. The appearance and specification of the secondary street fence is shown in Figure 22 below. Inspired by the natural environment of the site, and the backdrop of the Dandenong Ranges, this high-end fence design uses all-natural materials, and is similar to the fences used in other communities developed by Pask Group.

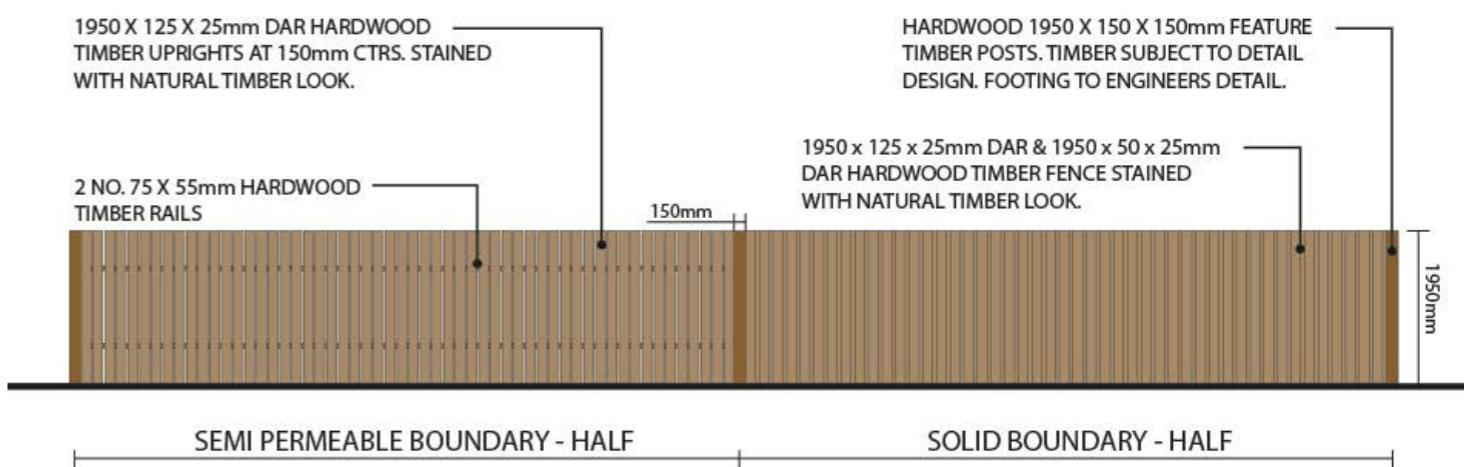


Figure 22: Fence specification for secondary street boundaries.

05. GARAGES AND DRIVEWAYS

While garage doors typically have little visual interest, they account for a large part of each home's street facade. Minimising their prominence not only contributes to a better looking home, it also promotes a more attractive streetscape.

The same is true of driveways—their appearance influences the look of each front yard, and the street overall.

LIVING DESIGN PRINCIPLES

1. Garage doors must be a minor visual element of a house's facade and the streetscape overall.
2. Driveways must be of a high quality visually.
3. Footpaths are not to be blocked by parked vehicles. Failure to comply may result in the issuance of Council penalties.

PRINCIPLES IN ACTION

5. If your house has upper levels, the total area of the garage door openings must be no more than 25% of the front facade area (i.e. the area of the house as seen from the street, including windows and doors—but excluding the roof).
6. If your garage accommodates more than two car spaces, the facade of the additional space(s) must be set back at least 1.0 metre further than the facade for the first two.



Figure 24: For a house with upper levels, the area of the garage opening must be no more than 25% of the area of the front facade.

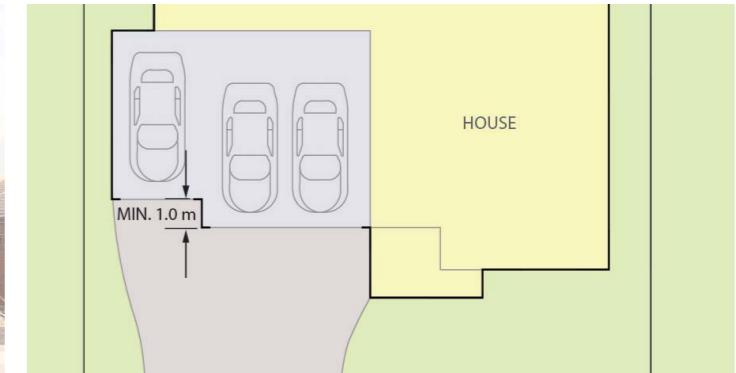


Figure 25: A third garage space must be set back from the street at least 1.0m further than the first two spaces.

PRINCIPLES IN ACTION

1. Every house with a frontage greater than 12.5 metres must include a garage with capacity to park at least two cars.
2. The maximum width for a single garage opening is 6.0 metres.
3. If compelling reasons are provided, a house on a lot less than 12.5 metres wide may be approved for a single car garage by the Design Review Panel.
4. If your house is single-storey, the total width of all garage openings on the front facade must be no wider than 40% of the lot width.



Figure 23: The garage opening(s) for a single storey house must be no wider than 40% of the lot width.

7. Garage doors must be either sectional or tilt panel.
8. Roller doors, garage doors with windows, and garage doors that feature coffered or rectangular relief patterns are prohibited.
9. Your driveway must be made either from pavers, concrete with exposed aggregate, or concrete with a stamped, stippled or stencilled surface. The colour must be specified in your plans and approved by the Design Review Panel.



06. FENCES

Fences perform a number of important roles. They mark the boundaries between lots, prevent unwanted access, and provide privacy. Front yard fences, being highly visible, also contribute greatly to the aesthetics of the streetscape.

High front yard fences block casual observation of the street and make streets less safe. They are also more dominant visually. By contrast, low front fences promote public safety and create an open and spacious streetscape. Low fences become a minor visual element.

The transparency of the fence is another consideration. See-through fences are useful where there is a need to secure pets, mark a boundary or allow casual observation of the street. Height remains an issue, however, because even tall transparent fences can dominate a street view.

LIVING DESIGN PRINCIPLES

1. Fencing can be used to secure lot boundaries, if desired.
2. Fencing creates privacy where required.
3. Public spaces are made safer by fencing that enables casual observation from adjoining homes
4. Fences must not dominate the streetscape.
5. Rear yard fencing must be consistent, attractive in style and affordable to encourage broad acceptability.



Figure 26: Low and see-through front fencing promotes public safety and a spacious streetscape.

PRINCIPLES IN ACTION

1. Unfenced front yards are encouraged
2. A front yard fence is permitted, providing it is:
 - no higher than 1.2 metres;
 - at least 30% transparent;
 - bordered by a garden bed at least 1.2 metres wide, that is densely planted with species that mature to a height of at least 500 mm;
 - adjoined by side boundary fencing that extends from the street to the garage or return fence.
3. Fences always look better if softened with plants, such as hedges and creepers.
4. Return and interlot fencing must be set back at least 6.5 metres from the nearest front corner of the lot and set back at least 1.0 metre from the nearest front corner of the house—the interlot fence must not extend forward of the return fence.
5. Retaining walls in the front yard must be either face brick, stone, or masonry that's painted, bagged or rendered.
6. The materials and colours used in a front yard retaining wall must match or complement the materials and colours used in the front facade of the house.
7. Refer to Section 9 for fencing principles that apply to corner lots.

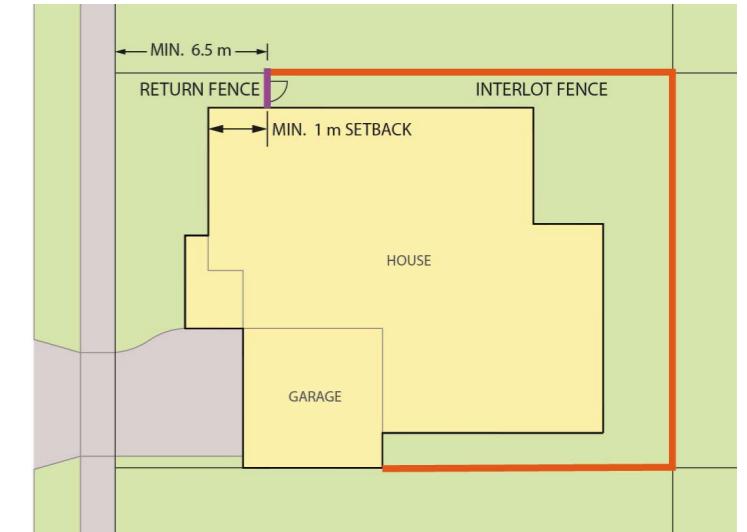


Figure 27: Return and interlot fences must be set back at least 6.5 metres from the nearest front corner of the lot, and at least 1.0 metre from the nearest front corner of the house.

PRINCIPLES IN ACTION

8. Return fences and gates must be 1.95 metres high and made from vertical hardwood timber slats with 10 mm gaps.

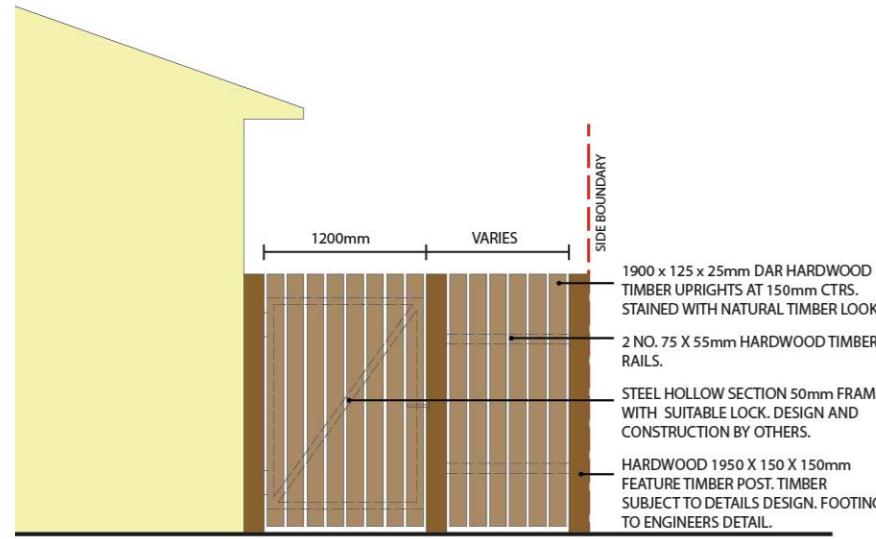


Figure 28: The design specification for a return fence.

9. Interlot fencing must be unstained lapped timber palings, timber capped, with a total height of 1.95 metres.

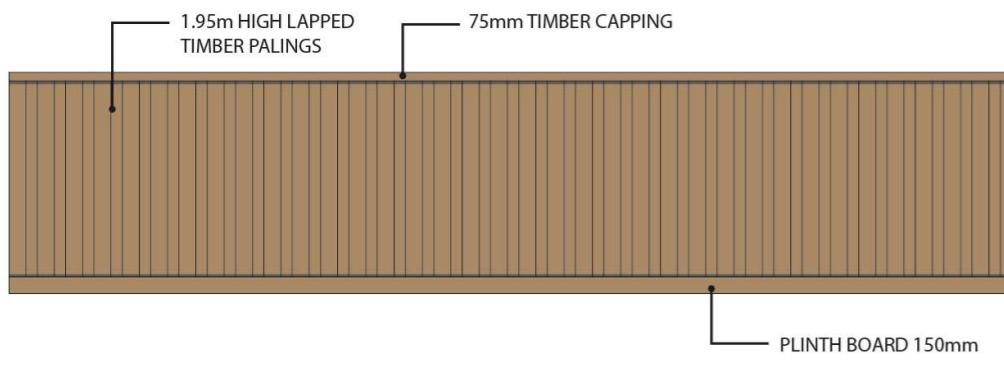


Figure 29: Interlot fencing must be capped and 1.95 metres high.

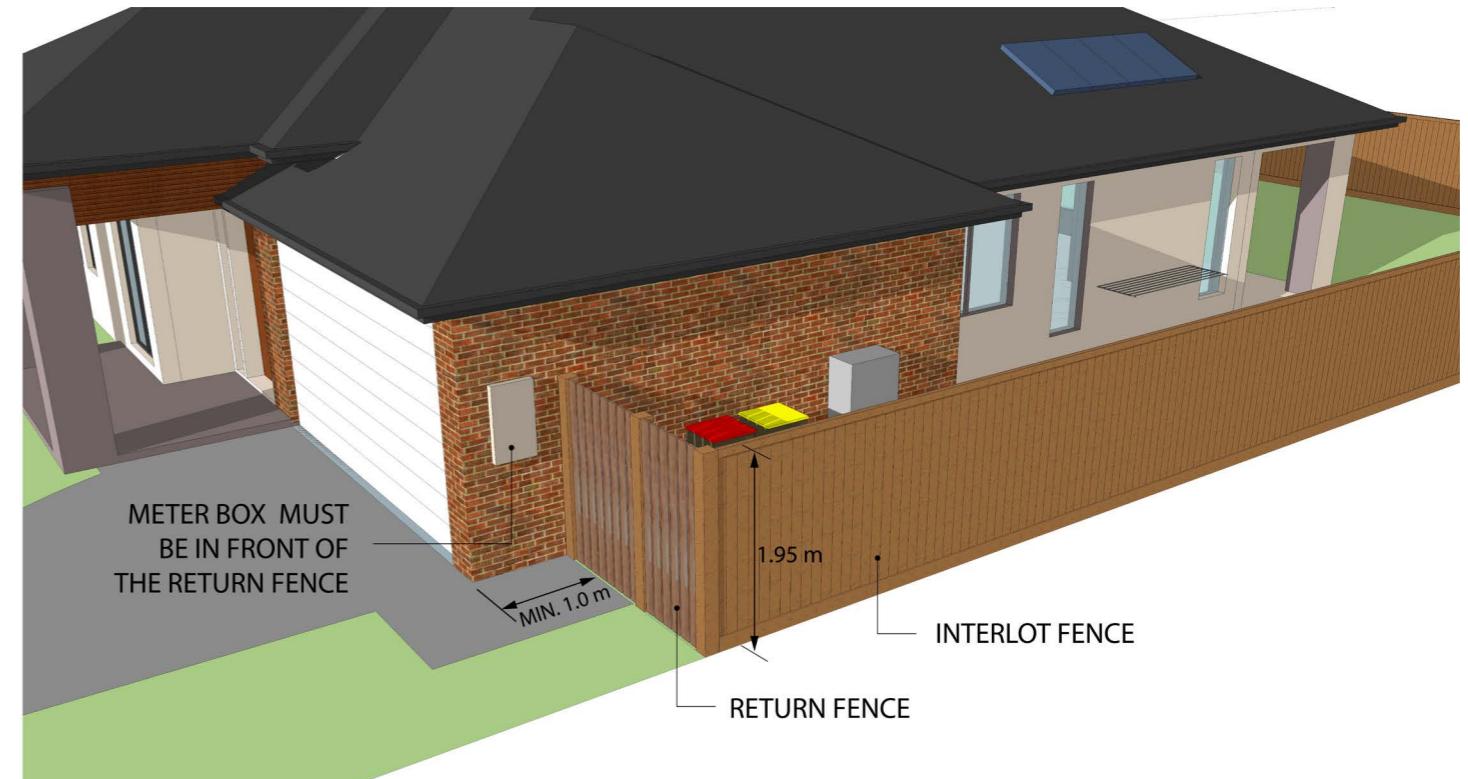


Figure 30: Typical placement of the return fence and meter box.

07. ANCILLARY ITEMS

We use ancillary items to describe fittings to the outside of a house, and minor structures on a lot.

Examples of ancillary fittings include hot water services, photovoltaic panels, air conditioning units, clothes lines, meter boxes, satellite dishes, antennas, rainwater tanks and letterboxes.

Examples of ancillary structures include outbuildings such as sheds and gazebos, driveways, fences, retaining walls and pergolas.

LIVING DESIGN PRINCIPLES

1. Ancillary items must be functional and unobtrusive.
2. Photovoltaic panels are encouraged on all roof planes except those facing the street.
3. Efficient connection to the NBN network.

Ancillary items can be unsightly when viewed from the street, parks or by your neighbours



Solar water unit facing street



Rainwater tank visible



Satellite dish on roof



Roof-mounted pool heating visible



Air-conditioning unit visible



Photovoltaic panel facing street

Figure 31: Ancillary items can be unsightly if poorly positioned or coloured. They must be placed out of sight from the street.

PRINCIPLES IN ACTION

1. The appearance, materials and external colours of all ancillary fittings and structures must complement, and integrate with, the design of your house.
2. The colour of ancillary structures visible from the street, must match or complement the colour of your house.
3. Roof mounted ancillary fittings must match, or be similar to, the roof colour, and be positioned below the roofline to the rear half of the roof.

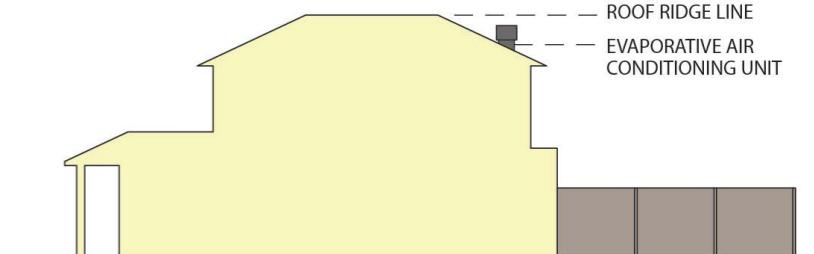


Figure 32: Roof mounted air conditioning plant roof must be positioned to the rear half of the roof, and below the roof ridge.

PRINCIPLES IN ACTION

4. Your letterbox must:
- be contemporary in style;
 - be constructed from metal, timber, brick or rendered masonry;
 - clearly display the street number as per Australia Post requirements;
 - complement the materials, colour and style of your house.



Figure 33: Your letterbox must be contemporary in style.

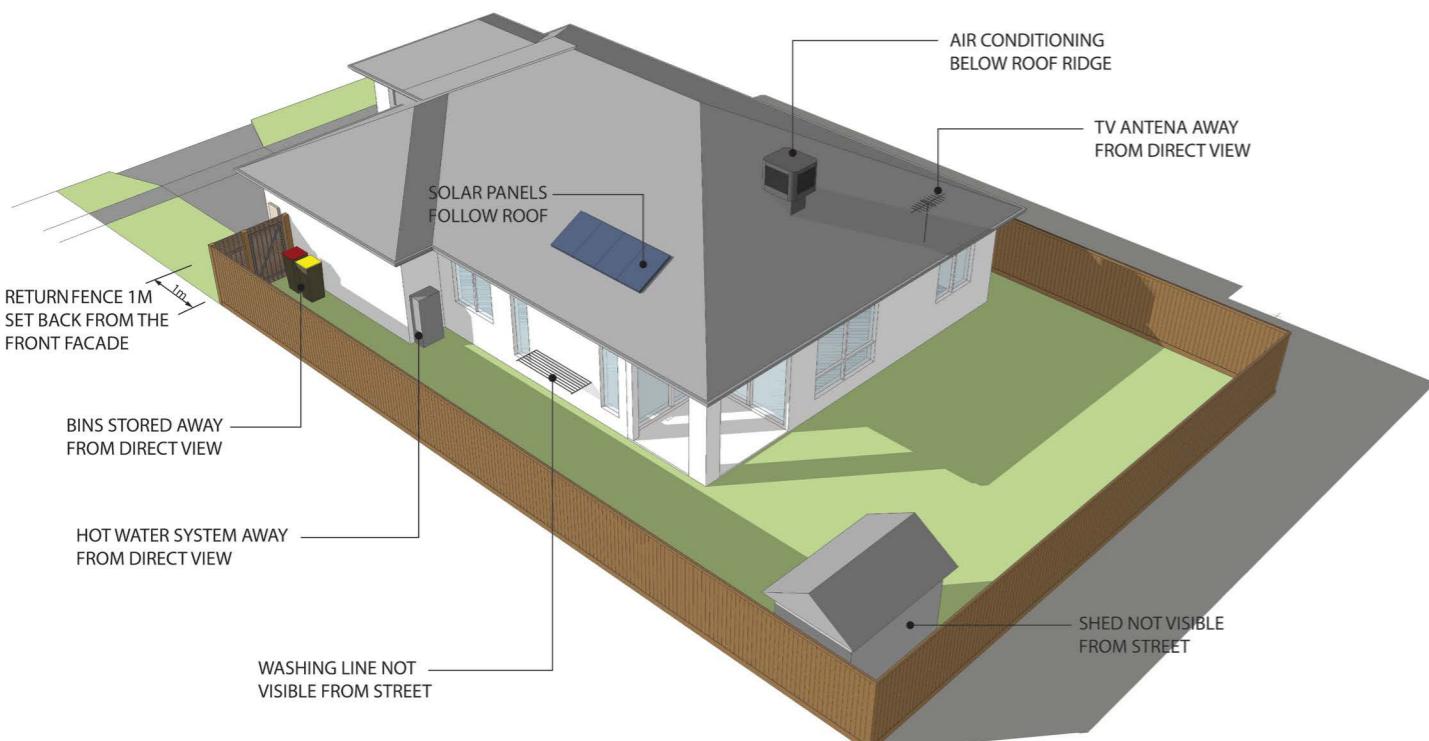


Figure 34: Position ancillary items to minimise their visibility from the street.

PRINCIPLES IN ACTION

5. 'Box-on-a-stick' single post-supported letterboxes are not permitted.
6. Bin storage areas must be shown on your site plan or landscape plan.
7. Solid security shutters and screens blocking windows are prohibited.
8. A garden shed must satisfy the following requirements:
- No more than 3.0 metres in height;
 - Not sited in the front yard;
 - Not visible from streets or public open spaces abutting the lot;
 - If the floor area is 10 m² or less the shed must be clad in Colorbond, more than half of which must be grey in colour.
 - If the floor area is greater than 10 m², the materials and colours must match, or be similar to, those of the house.
9. The connection to the NBN network must comply with the NBN Co's Building Ready Specifications. Non-compliance may prevent connection or require additional work, with the cost payable by the Purchaser. The NBN Co's Building Ready Specifications can be accessed via its website.
10. Movable objects such as boats, caravans, trucks, trailers, tents and bins must not be stored where visible from the street, or in any public space. Cars are the only exception.

08. LANDSCAPING

Thoughtful landscaping is the key to creating attractive streetscapes, because it softens the appearance of buildings—particularly when they're new. Plantings can also help define lot boundaries, especially hedges, and their use instead of a front yard fence is strongly encouraged.

LIVING DESIGN PRINCIPLES

1. Landscaping softens the appearance of a house and its streetscape.
2. Planting selection must not damage overhead and underground utility services.

3. Use landscaping to moderate the temperature of indoor and outdoor living spaces
4. Ensure landscaping is completed in a timely manner.



Figure 35: Landscaping softens the appearance of buildings, especially when they are new.

PRINCIPLES IN ACTION

1. The use of trees, shrubs and hedges to landscape your front yard and define your lot boundaries is encouraged.
2. At least one tree must be planted in your front yard. It must have a height at planting of at least 2 metres, and a mature height greater than the roof of your house. If deciduous and planted by the front window, this tree can shade your house in summer and allow sunshine in during winter.
3. Appendix A lists species suitable for your front yard.
4. The use of drought tolerant plant species is encouraged. They reduce the demand for irrigation and are more likely to survive during periods with water restrictions. (Most of the species listed in Appendix B are drought tolerant and will survive without daily watering.)
5. Mulching is encouraged as it improves soil structure, making the plants in your garden more resilient to drought, and more likely to thrive.
6. The timing of irrigation, fertilizer type and dose, companion planting, and pruning techniques can influence plant health and drought tolerance.

PRINCIPLES IN ACTION

7. Garden beds must account for at least 30% of the area of soft landscaping in your front yard.
8. Impermeable surfaces, such as paving, must cover no more than 30% of your front yard. (Examples of permeable surfaces include lawn, garden beds, pebbles, crushed rock, and stepping stones surrounded by a bed of gravel.)

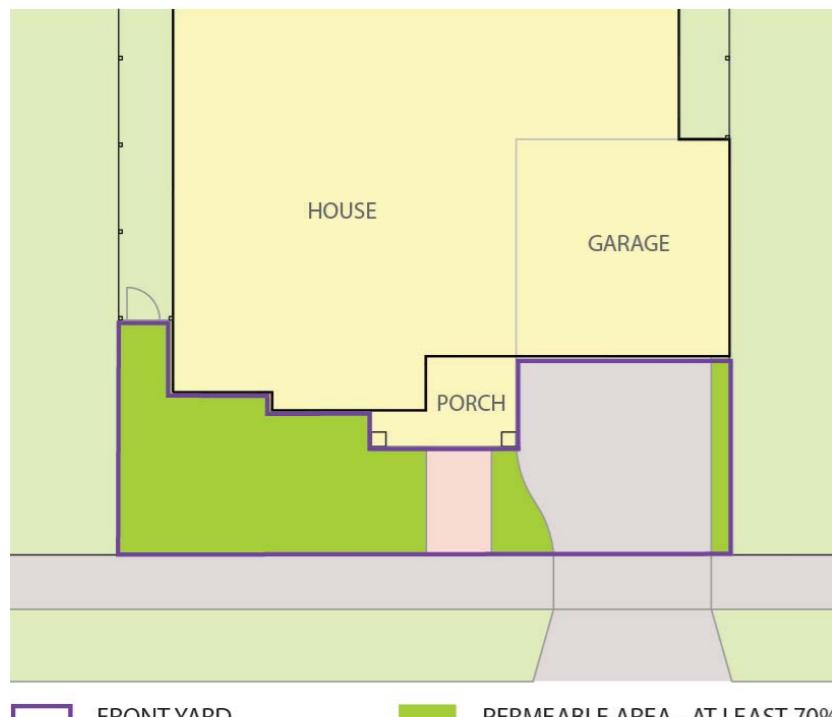


Figure 36: At least 70% of the area of the front yard must be permeable.

PRINCIPLES IN ACTION

9. Your landscape plan must be submitted for approval at the same time as your house plan.
10. You can choose to have your landscape plan prepared by a registered landscape architect or opt for one of the four plans in Appendix A. If required, we can introduce you to some inspired landscape designers, contractors, and suppliers.
11. Of the total number of species specified in the landscape plan, at least 70% of the species must be drought tolerant and not need irrigation after establishment.
12. Deciduous plant species provide shade in summer and let in sun during winter. They are especially useful for blocking the afternoon summer sun striking west-facing walls.
13. Trees must be sited so that even at maturity they do not damage underground and overhead services.
14. Plant species native to the area are recommended (Appendix A provides a full listing).
15. Garden edging must be metal, tile or plastic; timber edging is prohibited.
16. Artificial turf is prohibited.
17. The landscaping of your front yard must be completed within three months of the completion of your house. This will ensure your home presents well and contributes to the overall street appeal.



Figure 37: Deciduous trees can shade the house in summer and let in winter sun.

09. ENVIRONMENTAL SUSTAINABILITY

A resource-efficient home is good for the planet and saves you money. We have included both mandatory and discretionary standards to give you and your designer some simple guidance in creating a 'greener', healthier home.

An energy efficient home is also more comfortable to live in—they are typically cooler in hot weather and warmer in cold weather. An extremely efficient home may not need fans and air-conditioners at all.

At Bankside, you will have a choice of electricity supplier—consider buying your power from a provider that uses renewable energy sources.

LIVING DESIGN PRINCIPLES

1. Efficient use of energy, water and materials is encouraged.
2. Thermally comfortable homes are encouraged.
3. Appliances must be energy efficient.

PRINCIPLES IN ACTION

1. Your house plans must specify appliances that comply with the following standards:
 - Built-in air conditioning systems under 3kW must have a minimum 5 star energy rating; 3-6kW a minimum 4 stars, and over 6kW a minimum 2.5 stars. Split system air-conditioning is preferred.
 - Built-in heating systems must have a minimum 4 star energy rating;
 - Hot water systems must have a minimum 5 star energy rating;
 - Lighting must generally be by LED globes;
 - Dishwashers must have a minimum 4 star WELS water rating and 3 star energy rating.
 - Showerheads must have a minimum 3 star WELS water rating
 - Taps in bathrooms, kitchens and laundries must have a minimum 4 star WELS water rating.



Figure 38: Deeply recessed windows offer protection from the afternoon sun in summer.

PRINCIPLES IN ACTION

3. These techniques will help your house achieve a 6 Star energy rating or better:
 - face the main living areas to the north;
 - avoid large, west-facing windows (they let in the afternoon sun in summer);
 - shade walls and windows with eaves, pergolas and sunhoods;
 - encourage crossflow ventilation so summer breezes can cool the house;
 - add a covered outdoor living space and face it north or west to catch the afternoon and evening sun;
 - install a rainwater tank with a minimum 2,000 litre capacity, plumbed to flush the toilets; and
 - install photovoltaic panels on the roof to generate electricity.

4. Many paints, sealants, adhesives and floor coverings give off volatile organic compounds (VOCs), especially when new. These carbon-based compounds may evaporate at room temperature. Materials with low VOC emission levels may significantly improve the air quality inside your house.

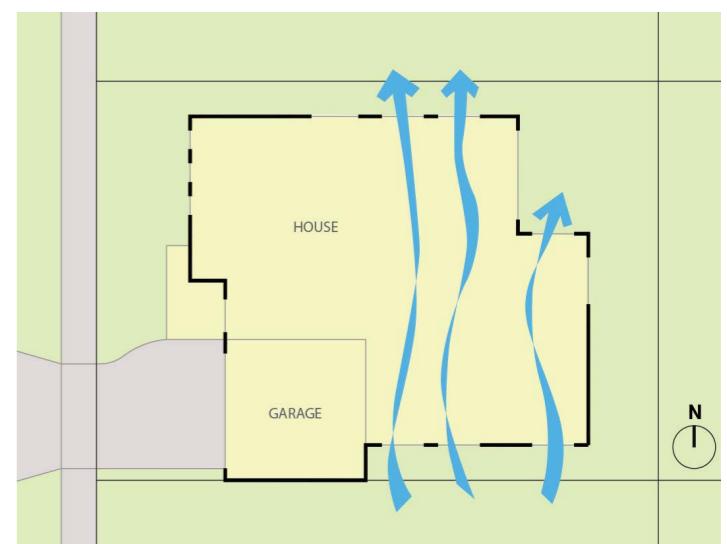


Figure 39: The placement of walls, doors and windows can provide easy paths through the house for breezes to cool your house.

10. DURING AND AFTER CONSTRUCTION

It's in everyone's best interests that the construction of each home proceeds in a timely, orderly and uniformly fair manner.

Ahead of construction commencing, please ensure you and your builder are familiar with all requirements regarding key milestones, signage, certification, storage of materials and waste management.

LIVING DESIGN PRINCIPLES

1. Minimise the disruptive effects of construction on your neighbours.
2. Complete your house and garden to a high standard within a reasonable timeframe.

PRINCIPLES IN ACTION

1. Construction work must begin on your lot within 18 months of the settlement date.
2. Work must finish within 12 months of construction commencing and, during that period, construction cannot pause for a period longer than three months.
3. Prior to, and during construction of your building, only the following signs are permitted on your lot:
 - statutory notices, including the builder's notice;
 - authorised display village signs; and
 - signs erected by the Vendor or their selling agent.
4. Your builder must not dispose of or store any organic/non organic materials outside the confines of your lot.
5. Your driveway must be completed before you can obtain a Certificate of Occupancy for your home.
6. Within three months of receiving your Certificate of Occupancy, you must:
 - complete the landscaping of the front yard and the nature strip;
 - install permanent window furnishings, such as curtains or blinds, on all street-facing facades (sheets and other temporary treatments are not acceptable); and
 - complete all lot boundary fences.

11. LEGALITIES

LEGAL OBLIGATIONS

Variation to the Building Covenants

The Building Covenants have been created to reflect building design principles which underpin and regulate the construction of dwellings in Bankside. The Vendor acknowledges that new products designed as substitutes or alternatives for the various materials listed in the LDP will be marketed from time to time and provided these products, in the Vendor's opinion, are not inconsistent with the aims and principles embodied in the LDP they will, at the Vendor's absolute and sole discretion, be acceptable.

The Vendor can also vary or exclude any of the terms of the Building Covenants if the Vendor considers it to be in keeping with the aims of establishing a premier, well designed residential estate encouraging an attractive and innovative built form.

The Purchaser can view the latest version of the Building Covenants on the Bankside Design Review Portal. <http://library.banksiderowville.com.au> (username: banksiderowville, password: banksiderowvillehome).

The Purchaser agrees that if the Vendor exercises its discretion to vary any requirements contained within LDP, the Purchaser or any other purchaser in Bankside, either prior to or after dwelling construction, will not object and that the Purchaser will not hold the Vendor liable for doing so. If there is any dispute as to the interpretation of LDP, the determination of the Design Review Panel will be final.

Fences Act

The Purchaser and the Vendor hereby agree on a contribution amount of one dollar (\$1.00) being the Vendor's share of its contribution towards a fence along the boundary of your allotment and any such adjoining allotment or public park owned by the Vendor, which will be payable fourteen (14) days after the Purchaser gives written notice of completion of the boundary fence and provided that the Vendor is the owner of the adjoining land at the time the boundary fence is constructed.

Estate Wall and Retaining Walls

In the event that there is any fence, wall or landscaping erected on or partly erected on your property as at or subsequent to the date of the Contract of Sale the Purchaser acknowledges that such fence or wall has been constructed for and on behalf of the Vendor, for the purposes of enhancing the value of your property and also Bankside generally. The Purchaser agrees not to remove, change, damage or disfigure the fence, wall or landscaping and to maintain and keep the fence, wall or landscaping in the same good order and condition and standard of presentation as at the date of the Contract. Furthermore, the Purchaser agrees not to alter the fence or wall (either aesthetically or materially), including constructing any other fence, in such way as would interfere with the uniformity or transparency of the total fence or wall.

The Purchaser agrees to indemnify the Vendor and any other affected person (e.g. an adjoining land owner) from any breach of this clause.

Maintenance of Property

The Purchaser will not, nor permit any contractor or invitee to:

- allow any rubbish, including site excavations and building material to accumulate (unless stored in a suitably sized industrial bin or skip); or
- allow excessive growth of grass or weeds on your property.

The Purchaser will not, nor permit any contractor or invitee to:

- place any rubbish (including site excavations) or building materials; or
- park or stand any vehicle or machinery;

on any land, pathway or footpath adjoining or in the proximity of your property.

The Purchaser will not, nor permit any contractor or invitee to damage, interfere with or otherwise disrupt any assets, equipment or services of the Council or any other authority on or in the proximity of your property.

Right of Inspection and Rectification

The Purchaser irrevocably authorises the Vendor and / or its agent, upon giving reasonable notice to enter your property to:

- carry out an inspection to determine if there has been a breach of any of the Building Covenants or determine compliance with any requirements specified by the Vendor;
- remove any sign erected without the Vendor's written consent;
- rectify any breach of the Building Covenants.

Such entry and access shall not constitute trespass and the Purchaser shall not make any claim against the Vendor arising from such entry or access. The Purchaser's authority allows entry on multiple occasions provided separate notices are given.

The Purchaser shall be responsible for the costs expended by the Vendor, (as well as the costs of Council or any other authority) in exercising rights under this clause. In addition, if the Vendor elects to slash or mow your property (to rectify a breach of any of the Building Covenants) the Purchaser will pay the Vendor a reasonable sum upon demand for each and every occasion the Vendor mows, slashes or removes any rubbish or building materials.

No Merger

The parties hereto agree that the provisions of the Building Covenants will not merge on the completion of the Contract of Sale.

LEGAL OBLIGATIONS

Assignment

The Purchaser will not sell, transfer or otherwise dispose of your property without first delivering to the Vendor a Deed of Covenant given by the incoming purchaser, transferee or donee in favour of the Vendor containing covenants on the same terms (mutatis mutandis) as are set forth herein including liability to obtain such Deed of Covenant from any further purchaser, transferee or donee.

Liquidated Damages

The Purchaser and Vendor agree that in the event of a breach by the Purchaser of any of the Building Covenants, the Vendor shall suffer loss, which each of the parties presently estimate to be an amount of not less than ten thousand dollars (\$10,000.00) and the Purchaser hereby covenants in the event of such breach, the Purchaser shall pay to the Vendor the sum of ten thousand dollars (\$10,000.00) (by way of liquidated damages and not as a penalty) or, at the election of the Vendor, such greater sum as may represent the actual loss and damage suffered by the Vendor as a result of such breach.

DEFINITIONS

Word or phrase

Building

Building Covenants

Building Plans

Contract of Sale

Council

Design Review Panel

DRP

Living Design Principles

LDP

MCP

Pask Group

Purchaser

Superlot

Vendor

We, we, Us or us

Works

You, you, Your or your

Your property

Definition

Dwelling house, garages, garden sheds, pergolas, gazebos, swimming pools and outbuildings proposed to be constructed on your property.

This document titled Bankside Living Design Principles being an agreement between the Vendor and Purchaser whereby the Purchaser agrees to adhere to its terms, in particular the Acceptable Solutions.

Those plans and specifications detailed in the 'Legal obligations' section above.

The Contract between the Vendor and Purchaser in respect of your property.

Knox City Council.

Person/s selected by us to review and approve all Building Plans in accordance with the Living Design Principles.

Design Review Panel.

A set of design guidelines and covenants with which all house designs must comply and referred to in of the Contract of Sale.

Living Design Principles.

Memorandum of Common Provisions

The trading name of the Vendor and various related entities of the Vendor.

The person listed as Purchaser of your property named in the Contract of Sale.

A larger parcel of land subject to further residential subdivision.

The vendor is the company named in the Contract of Sale, and is one of the following: Amphora Pty Ltd, Cottonwood Holdings Pty Ltd, Enigma Developments Pty Ltd, Hibiscus Group Pty Ltd; Valley Group Developments Pty Ltd.

The Vendor.

Any building operation.

The Purchaser.

The land identified in Appendix C.

12. SUBMITTING PROPOSALS

All construction works, including new homes, additions and new verandahs, pergolas, sheds, swimming pools and garden structures must be approved by the Bankside Design Review Panel.

DESIGN DRAWINGS

Your designer and/or builder will be required to send the design drawings for your house and landscaping to the Design Review Panel as a PDF file. The Design Review Panel will assess the drawings, and check the proposed facade, external colour scheme and fencing against its register of facades.

You and your designer will be responsible for ensuring all proposed works and landscaping comply with the provisions of the Living Design Principles, and the Memorandum of Common Provisions detailed in your Contract of Sale.

Design drawings should be at least a 1:100 scale on an A3 page.

The Building Plans must include the following:

13.1.1 Plans and specifications including finishes and colour samples for the Building (including a site plan showing retaining walls and driveways) to be constructed on your lot.

13.1.2 Colour, material, heights and design details of all fences, including corner fencing treatments.

13.1.3 Floor plans (minimum scale 1:100) including:

- Internal layouts
- Floor area calculations
- Proposed floor levels
- Location of a hot water system

13.1.4 Elevations (minimum scale 1:100) including:

- Finished ground levels
- Material for external walls and roofing
- Direction faced by the facade identified on all elevations

13.1.5 Cross section (minimum scale 1:100) including:

- Existing ground levels
- Proposed finished ground levels

13.1.6 A landscape plan including plant species and location of plants

THE ASSESSMENT PROCESS

Please submit your completed application online at the Bankside Design Review Portal. If you have any minor queries during its preparation, you may contact the Design Review Panel via email to DRP@nevapk.com.au

Within 10 working days of assessing your design drawings for compliance with the Living Design Principles, the Design Review Panel will respond in writing, either:

- Approving the design
- Requesting further information
- Commenting on noncompliances and possibly requesting further information

You may then submit revised plans at your convenience to respond to the comments and to provide further information. An approval may include conditions.

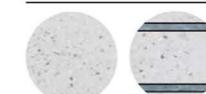
Your first application, through to approval or refusal, is free of charge. A second application—for new items or a new design not resulting from noncompliances—will incur a fee of \$330 (GST inc.), which must be paid when the application is submitted.

An approval of the Building Plans by the Design Review Panel shall not constitute any agreement or representation as to the adequacy, suitability or fitness of such plans and you acknowledge that no reliance shall be placed on such approval or consent.

APPENDICES

Appendix A: Designs for your front garden

Legend



PAVING TYPE 1 - 150mm THICK CONCRETE ON CRUSHED ROCK BASE. BASE TO ENGINEERS DETAIL.
OPTIONAL STONE PAVING INFILL ON CONCRETE BASE - 100mm WIDE & 40mm THICK
REFER MATERIALS PALETTE FOR OPTIONS



PAVING TYPE 2 - PAVERS AT 100mm SPACINGS ON BASE OF BEDDING SAND, CRUSHED ROCK BASE & COMPACTED SUBGRADE. BASE TO ENGINEERS DETAIL
PAVER SIZE:
OPTION A: 900 X 300 X 40mm PAVERS
OPTION B: 400 X 400 X 40mm PAVERS

GRASS, GROUNDCOVER OR GRAVEL INFILL



EDGING - 150 X 6mm MILD STEEL EDGE WITH WELDED STEEL SUPPORT STAKES AS REQUIRED - FLUSH TO GARDEN BED / LAWN



FENCING - IN ACCORDANCE WITH LIVING DESIGN PRINCIPLES



LETTER BOX



STREET TREE - REFER ESTATE STREET TREE MASTER PLAN FOR SPECIES



MEDIUM TREE - PLANTED IN HOLE 3 TIMES THE DIA. OF POT SIZE & BACKFILLED WITH APPROPRIATE TOP SOIL
REFER TO PLANT SCHEDULE



SMALL TREE - PLANTED IN HOLE 3 TIMES THE DIA. OF POT SIZE & BACKFILLED WITH APPROPRIATE TOP SOIL
REFER TO PLANT SCHEDULE



HEDGE - PLANTED IN HOLE 3 TIMES THE DIA. OF POT SIZE & BACKFILLED WITH APPROPRIATE TOP SOIL
REFER TO PLANT SCHEDULE



LOW SHRUB - PLANTED IN HOLE 3 TIMES THE DIA. OF POT SIZE & BACKFILLED WITH APPROPRIATE TOP SOIL
REFER TO PLANT SCHEDULE



GROUND COVERS - PLANTED IN HOLE 3 TIMES THE DIA. OF POT SIZE & BACKFILLED WITH APPROPRIATE TOP SOIL
REFER TO PLANT SCHEDULE



INSTANT TURF
COUNCIL APPROVED SPECIES

MATERIAL PALETTE

PAVING TYPE 1

CONCRETE CHOICES



OPTIONAL INFILL BANDING MATERIAL CHOICES

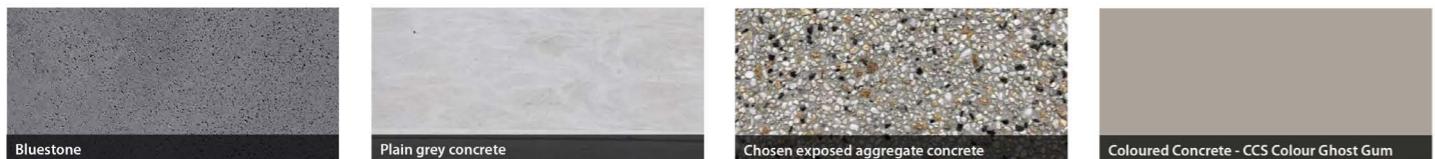


PAVING TYPE 2

PAVER SIZE CHOICES



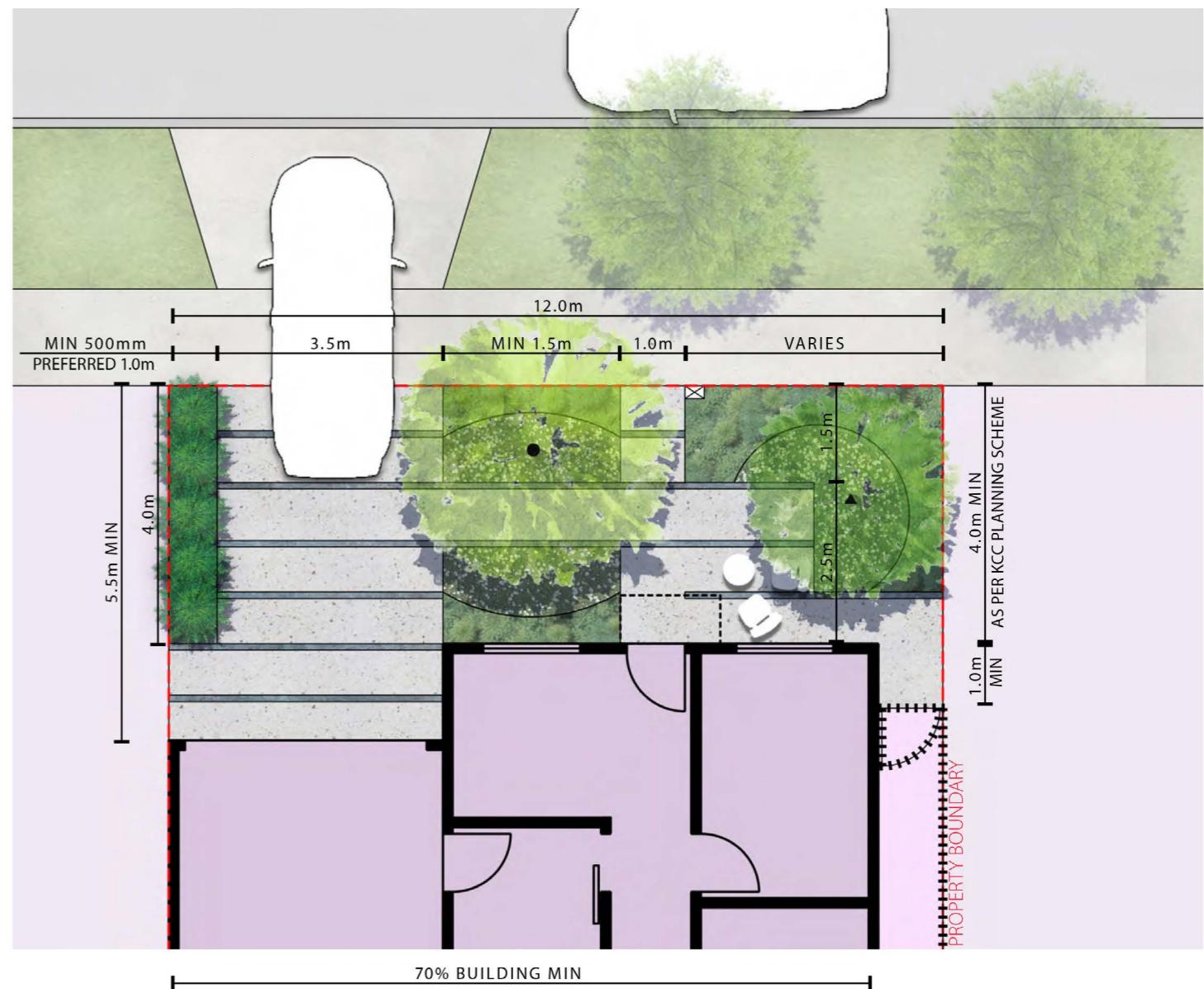
PAVER MATERIAL CHOICES



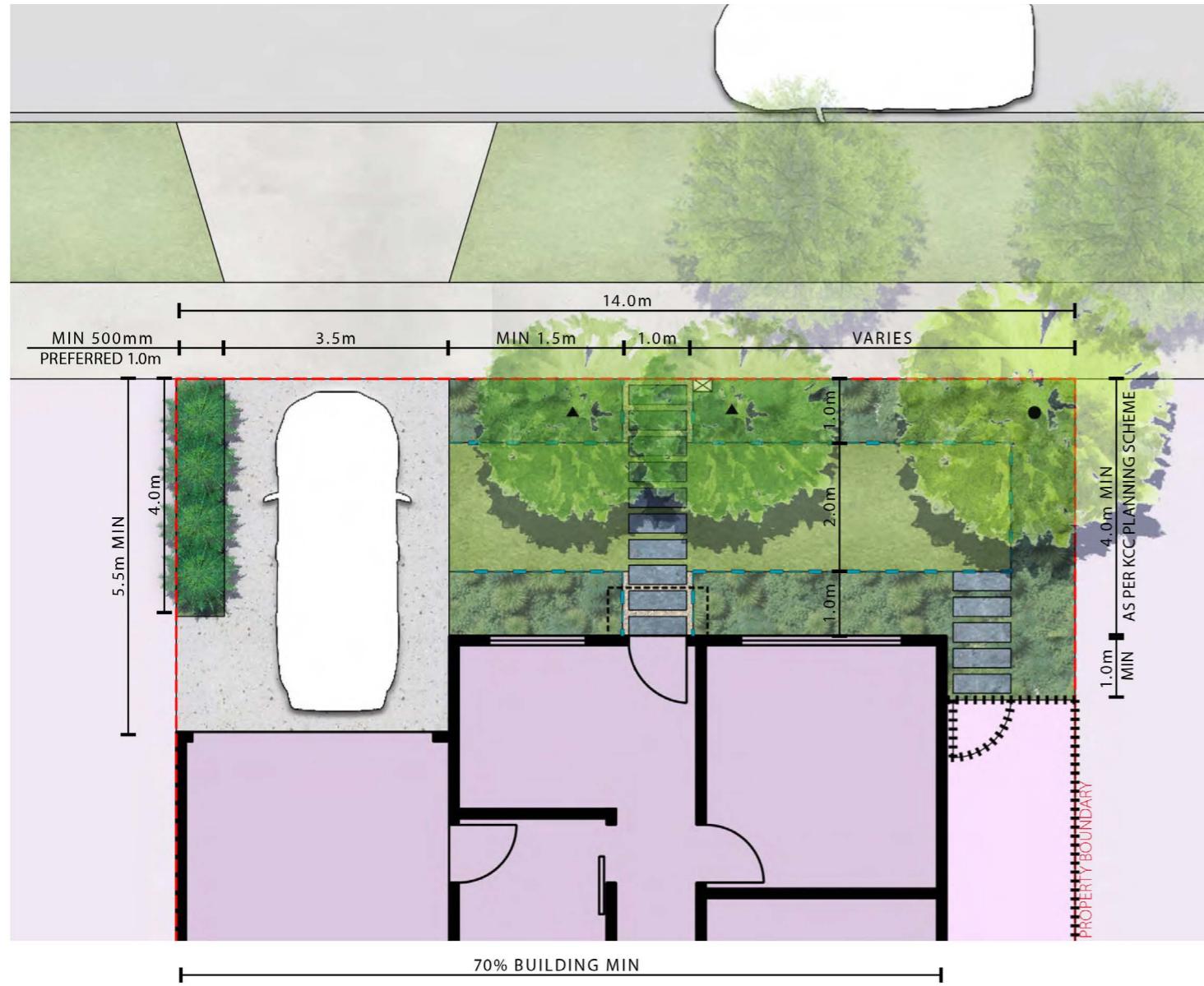
INFILL MATERIAL CHOICES



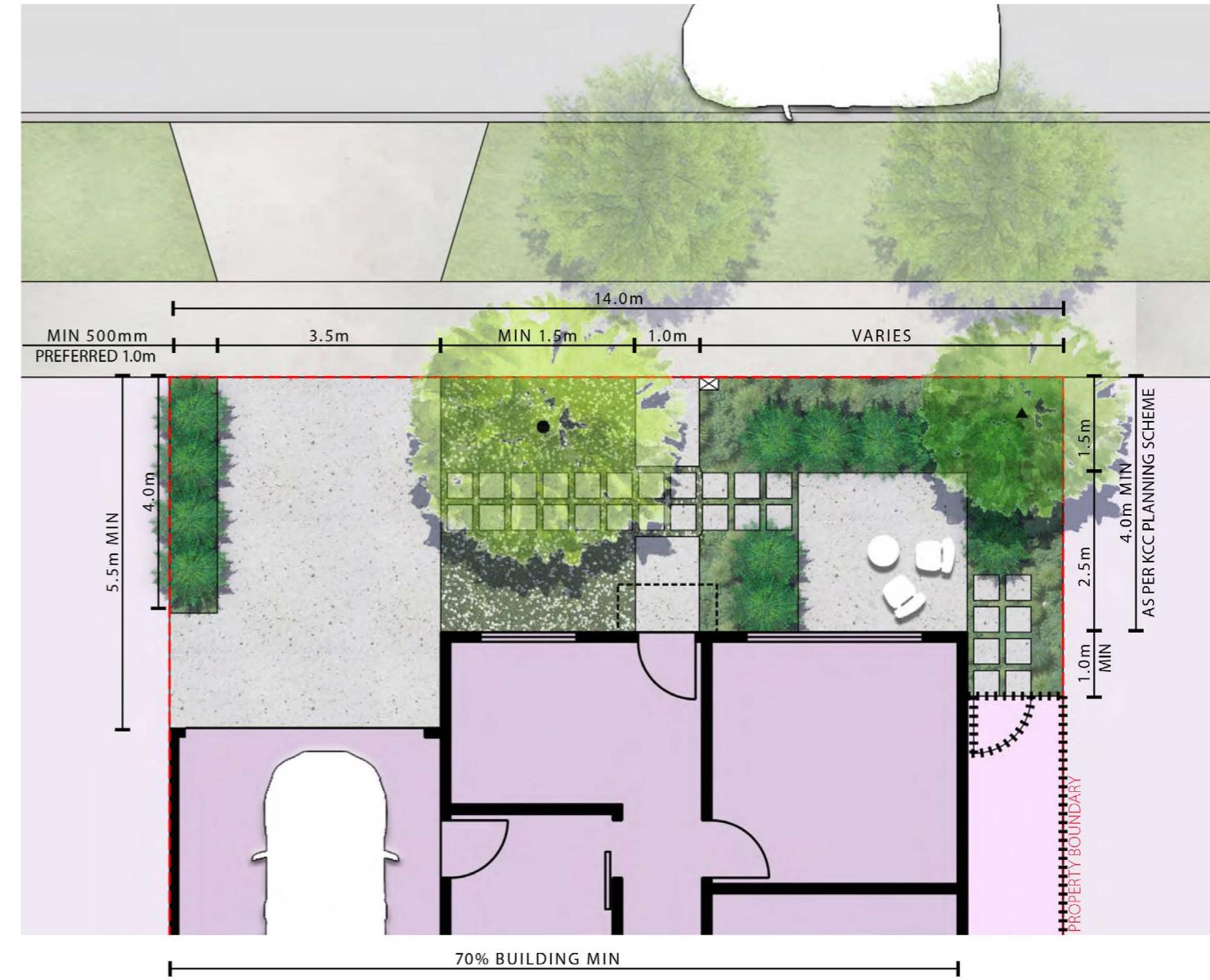
Concept A, for a 12.0m wide lot'



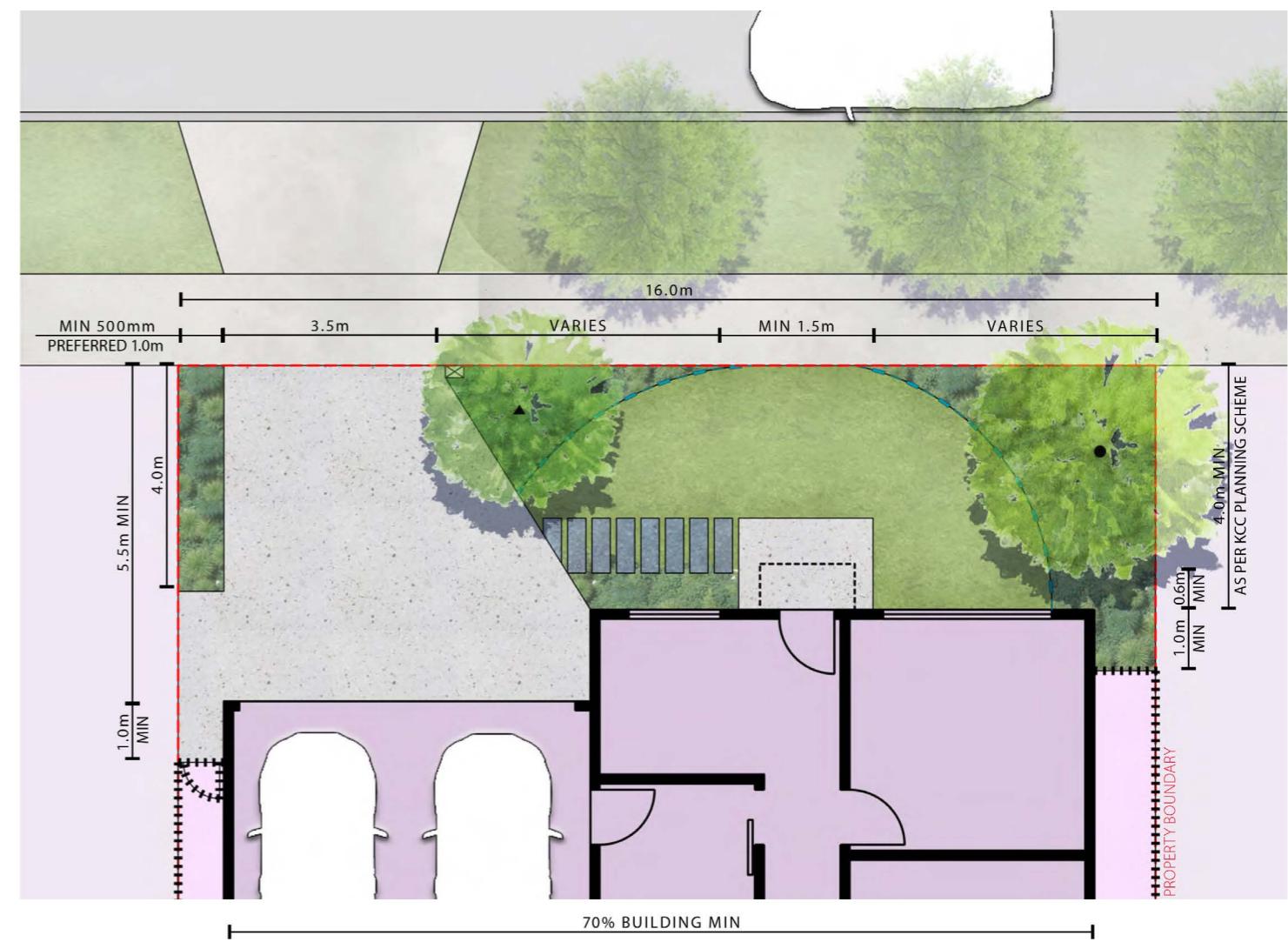
Concept B, for a 14.0m wide lot



Concept C, for a 14.0m wide lot



Concept D, for a 16.0m wide lot



Appendix B: Plants for your front garden

Botanical Name	Common Name	Native	Size	N	E / W	S
MEDIUM TREES^						
<i>Acer freemanii 'Autumn Blaze'</i>	Freeman Maple		13 x 10m	X	X	X
<i>Betula pendula</i>	Silver Birch		25 x 5m	X	X	X
<i>Eucalyptus ovata</i>	Swamp Gum		10 x 5m	X	X	X
<i>Eucalyptus sideroxylon</i>	Red Ironbark		10-15 x 3-5m	X	X	X
<i>Magnolia grandiflora</i>	Bull Bay		15-20 x 10-15m	X	X	X
<i>Quercus coccinea</i>	Scarlet Oak		15 x 8-12m	X	X	X
<i>Waterhousea floribunda</i>	Weeping Lily-Pilly		10-16 x 5-10m	X	X	X
SMALL TREES						
<i>Acacia leprosa</i>	Cinnamon Wattle		3-5 x 2.5m	X	X	
<i>Acacia pendula</i>	Weeping Myal		6-10m H	X	X	
<i>Callistemon viminalis</i>	Bottlebrush		5 x 5m	X	X	X
<i>Camellia spp.</i>	Camellia		2-6m H		X	X
<i>Eucalyptus caesia 'Silver Princess'</i>	Silver Princess		8.0 x 4.0m	X	X	X
<i>Eucalyptus macrocarpa</i>	Mottlecah		3 x 2.5m	X	X	
<i>Grevillea 'Honey Gem'</i>	Grevillea		4.0 x 3.0	X	X	
<i>Grevillea 'Moonlight'</i>	Grevillea		4.0 x 3.0	X	X	
<i>Magnolia grandiflora 'Little Gem'</i>	Bull Bay		5.0 x 3.0m	X	X	X
<i>Melaleuca ericifolia</i>	Swamp Paperbark		4.9 x 2.6m	X	X	X
HEDGES						
<i>Acmena 'Allyn Magic'</i>	Lilly Pilly		0.6 x 1m	X	X	X
<i>Adenanthes sericeus</i>	Albany Woolly Bush		1.5 x 1.5m	X	X	X
<i>Eremophila nivea</i>	Emu Bush		1.2 x 1.2m	X	X	
<i>Westringia longifolia</i>	Long-leaved Westringia		2.0 x 2.0m	X	X	X

[^] Consideration of appropriate root barriers should be given for larger tree species

* NOTE:

A minimum of one native tree is required per front garden (small or medium), as identified in the plant schedule above.

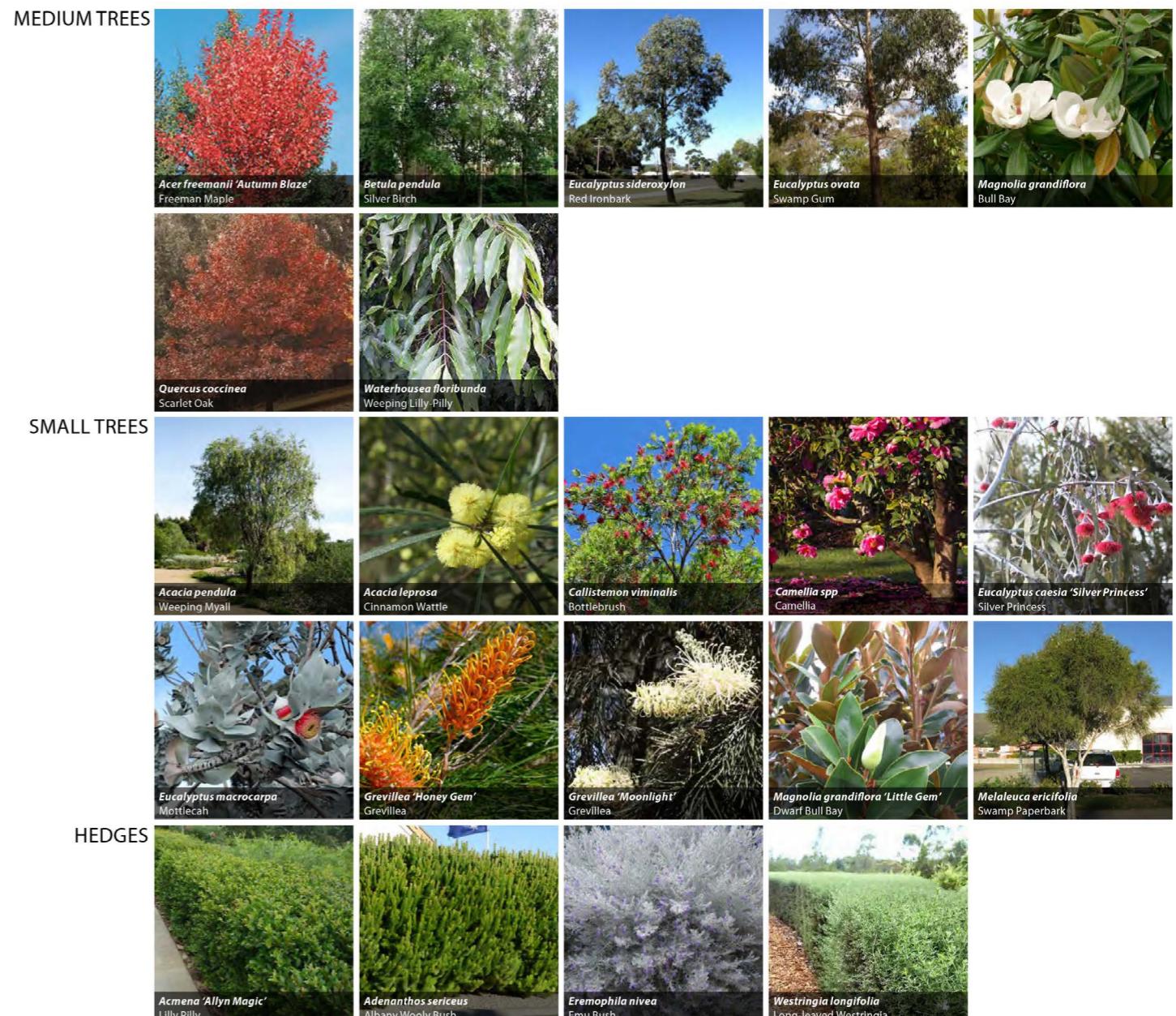
N = northern orientation of lot

E / W = eastern / western orientation of lot

S = southern orientation of lot

The orientation of the lot will determine the amount of sunlight in the front garden through the day e.g a northern orientated lot will be quite bright and a southern orientated lot will be shaded.

Each species has been marked with an X to indicate their relative appropriateness for the orientation of lots and the level of sunlight.



Botanical Name	Common Name	Size	N	E / W	S
SHRUBS					
<i>Acanthus mollis</i>	Oyster Plant	1.0 x 1.0		X	X
<i>Arthropodium cirratum</i>	New Zealand Rock Lily			X	X
<i>Chrysocephalum semipapposum</i>	Clustered Everlasting	1.0 x 1.0m	X		X
<i>Clivia miniata</i>	Clivia	0.6-0.75 x 0.6-1m		X	X
<i>Correa alba</i>	White Correa	1.5 x 1.5-2.5m	X	X	
<i>Correa reflexa</i>	Common Correa	0.3-2 x 1.2m	X	X	X
<i>Dites grandiflora</i>	Butterfly Iris	0.8 x 0.8m			
<i>Doryanthes excelsa</i>	Gymea Lilly	1.2m x 1m	X	X	
<i>Lavandula angustifolia</i>	Common Lavender	0.45 x 0.75m	X	X	X
<i>Leucadendron laureolum</i>	Golden Conebush	1.8 x 1.5m	X	X	
<i>Leucadendron 'Safari Sunset'</i>	Conebush	2.5 x 2.0m	X	X	
<i>Lomandra longifolia</i>	Spiny-headed Mat-rush		X	X	X
<i>Pennisetum setaceum 'Purpureum'</i>	Red Fountain Grass	1.0 x 1.0m	X	X	
<i>Poa labillardieri</i>	Common Tussock-grass	1.3m H	X	X	
<i>Raphiolepis indica 'Oriental Pearl'</i>	Oriental Pearl Indian Hawthorn	1.0 x 1.0m	X	X	
<i>Rhagodia spinescens</i>	Spiny Saltbush	0.5-1 x 1.5-2m	X	X	X
<i>Rosmarinus officinalis</i>	Rosemary	1.5 x 1.2m	X	X	X
<i>Rosmarinus officinalis</i>	Rosemary	1.5 x 1.2m	X	X	X
GROUND COVERS					
<i>Acrotriche serrulata</i>	Honey-pots	0.1-0.3 x 0.5-1m	X	X	
<i>Aeonium arboreum</i>	Aeonium	1 x 1-1.2m	X	X	
<i>Arctotis 'Silverdust Glow'</i>	Aurora Daisy	0.3 x 1.2m	X	X	X
<i>Aspidistra elatior</i>	Cast Iron Plant	0.6 x 1.2m	X	X	X
<i>Banksia blechnifolia</i>	Southern Blechnum Banksia	0.4 x 2.4m	X	X	X
<i>Billardiera scandens</i>	Apple Berry	0.2-1.5 x 1.5m	X	X	X
<i>Blechnum cartilagineum</i>	Gristle Fern	1.0 x 1.0m			X
<i>Casuarina glauca 'Cousin It'</i>	Cousin It	0.3 x Spreading	X	X	X
<i>Convolvulus cneorum</i>	Silverbush	0.5 x 0.5m	X	X	
<i>Ophiopogon japonicus</i>	Mondo Grass	0.15 x 1m	X	X	X
<i>Philodendron 'Xanadu'</i>	Xanadu	0.5 x 0.8m		X	X
<i>Pycnosorus chrysanthes</i>	Golden Billy Buttons	0.3-1 x 0.2-0.5m	X	X	
<i>Sedum 'Autumn Joy'</i>	Sedum Autumn Joy	0.6 x 0.6m	X	X	
<i>Trachelospermum jasminoides</i>	Star Jasmine	6-8 x 6-8m	X	X	X
<i>Viola hederacea</i>	Native Violet	0.15 x 0.4m		X	X
<i>Westringia fruticosa 'Mundi'</i>	Dwarf Native Rosemary	0.3 x 1.0	X	X	X

* NOTE:

N = northern orientation of lot

E / W = eastern / western orientation of lot

S = southern orientation of lot

The orientation of the lot will determine the amount of sunlight in the front garden through the day e.g a northern orientated lot will be quite bright and a southern orientated lot will be shaded.

Each species has been marked with an X to indicate their relative appropriateness for the orientation of lots and the level of sunlight.



Appendix C: Purchaser agreement to comply

We acknowledge we have read and understand and agree to comply with the Building Covenants titled "Bankside Living Design Principles"

Your Property Lot No:_____

Purchaser's Name:_____

Signed:_____

Dated:_____

Purchaser's Name:_____

Signed:_____

Dated:_____

The Purchaser acknowledges and agrees that your property is part of a large development the object of which is to establish a modern and well designed residential estate and it is desirable that supervision and control be exercised by the Vendor for the protection and in the interests of the Purchaser and other residents of the estate in relation to the nature and type of construction to be erected and in recognition of the desirability of the construction of a sound, modern and attractive development.

The Purchaser agrees with the Vendor that should the Purchaser sell or transfer title of the property in any way, then they are obliged to the Vendor to obtain from the new owner a covenant in similar terms to this between the Vendor and the new owner and the Purchaser will be liable for any negligence for non compliance on their behalf and the Purchaser's obligations to the Vendor shall cease only on receipt of such new covenant.

